

**UNIFIED DEVELOPMENT ORDINANCE
LANCASTER COUNTY, SOUTH CAROLINA
January, 2011**

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**CHAPTER I
ADOPTION AND INTERPRETATION**

**Article I
Authority**

§ 1-100. Unified Development Ordinance published separately.

The unified development ordinance shall be published in a separate volume, a copy of which shall be filed with the County Administrator.

§ 1-101. Authority and title.

This unified development ordinance is adopted pursuant to authority granted in the South Carolina Local Government Comprehensive Planning Enabling Act of 1994, S.C. Code sections 6-29-310, et seq. (1994 Supp.). This ordinance may be cited as “Lancaster County Unified Development Ordinance, January, 2011.”

§ 1-102. Jurisdiction and purposes.

The provisions of this ordinance shall apply to all land and improvements within the unincorporated areas of Lancaster County, South Carolina. The purposes of the zoning ordinance are to implement the land use element of the comprehensive plan for those purposes set forth in S.C. Code section 6-29-710.

**Article II
Definitions**

§ 1-200. Interpretation.

- (a) Words used in this ordinance shall have their customary and ordinary meanings as defined in a standard dictionary, except for specific words and phrases defined in this ordinance.
- (b) The present tense includes the past and future tenses. Singular words shall include the plural, and plural words shall include the singular.
- (c) The word “person” includes an individual, a firm, association, partnership, trust,

company, corporation or any other legal entity.

- (d) The word “shall” is mandatory; the word “may” is permissive.
- (e) References to SIC codes shall mean those codes assigned to businesses in the 1987 Standard Industrial Classification Manual published by the federal Office of Management and Budget. SIC codes may be listed in the tables of uses for each district as an aid in interpretation and determination of those specific uses included in a general class of uses.

§ 1-201. Definitions.

1. Accessory. A building or use subordinate to and serving a principal building or use which is subordinate in area, extent or purpose to the principal building or use served; designed for the comfort, convenience or necessity of occupants of the principal use served; located on the same lot as the principal building or use served, except for permitted off-site accessory uses; and which meets all setback requirements for the principal structure. Accessory uses shall include, but not be limited to: a single (non rental) guest house, barns, sheds, home tennis courts, swimming pools, boat houses, docks, automobile garages, decks, patios, and private recreation areas.
2. Alley. A minor right-of-way used or intended to be used primarily for service access to the rear or side of properties otherwise abutting a street. An alley is not considered to be a street for purposes of this ordinance.
3. Alteration of building. Any change in the supporting members of a building, such as bearing walls, columns, or girders; any addition or reduction to a building.
4. Antenna. Any device for radiating or receiving electromagnetic waves, including, but not limited to, radio, television, telephone, communication, microwave, and satellite dish antennas.
5. Apartment. A portion of a building consisting of a room or rooms intended, designed, or used as a residence by an individual or family.
6. Automobile service station. [See SIC Code 5541.] Use involving the sale of gasoline, lubricating oils, merchandise such as tires, batteries, auto parts, minor repairs, and may include limited sale of groceries or carwashes, but may not include storage of dismantled or wrecked vehicles or parts.
7. Bed and breakfast. An owner occupied dwelling or portion thereof offering nine or fewer guest rooms to transient lodgers in return for compensation, with or without meals. If meals are served, they shall be restricted to breakfast only. The use of a dwelling as a Bed and Breakfast Inn shall not be considered as an accessory use or a customary home occupation.
8. Boarding house. [See SIC Code 7021 - rooming and boarding houses.] A dwelling other than a motel, hotel or bed and breakfast inn in which rooms are rented, with or without

meals, on a fee basis. A structure in which five (5) or more rooms are rented shall be classified as a hotel or motel.

9. Buildable area. The portion of a lot which may be used or built upon in accordance with zoning district regulations.
10. Building. Any structure having a roof supported by columns or walls and which is designed for shelter, support or enclosure of persons, animals or property of any kind.
11. Camper. A mobile home, tent, trailer, or other self-contained vehicle, designed for recreational purposes, mounted on two or more wheels, self-propelled or towed, and not used for residential purposes in the County.
12. Clustered Single-Family. This land use is a residential subdivision that requires dwelling unit types which require smaller lots than conventional residential developments within the same zoning district. This lot size flexibility is provided because the provision of the required common green space results in a community character which is consistent with the conventional residential developments.
13. Community residential care facility. An institution providing for a period exceeding 24 consecutive hours room, board, some personal assistance in feeding, dressing or other living activities to two or more individuals not related to the operator, including chemical abuse residential treatment facility or half-way house providing inpatient or detoxification services.
14. Conditional use. A use permitted by the district regulations upon compliance with specified conditions with review by the County Council.
15. Day care. The care, supervision or guidance of five (5) or less unrelated persons, unaccompanied by the parent, guardian or custodian, on a regular basis for periods of less than 24 hours per day in a place other than the operator's own home excluding occasional care typically referred to as babysitting.
16. Day care facility. A state licensed facility providing day care, for profit or nonprofit for six (6) or more persons. This definition includes, but is not limited to, day nurseries, nursery schools, kindergartens, day care centers, group day care homes and family day care homes. It does not include education facilities for grades one or above, shopping center or office building temporary care facilities, summer or day camps, or vacation Bible schools.
17. Density. The number of dwelling units per gross acre of developed land, excluding land devoted to streets, alleys, parks, playgrounds, schools or other public uses.
18. District. A geographical area assigned a zoning district designation pursuant to the provisions of this ordinance.
19. Drinking place. [See SIC Code 5813.] Establishment primarily engaged in retail sale of alcoholic drinks for consumption on premises. Sale of food may account for a substantial portion of receipts.
20. Dwelling. A building or portion thereof designed, occupied, or intended for human

residential occupancy, not including a hotel, motel, rooming or boarding house or a community residential care facility.

21. Dwelling, group. A dwelling occupied by several unrelated persons or families, but in which separate cooking facilities are not provided for each group. Group dwellings include rooming houses, apartment hotels, and similar facilities such as a community residential care facility. Hotels, motels and tourist homes are not group dwellings.
22. Dwelling, multi-family. A dwelling which contains three or more separate dwelling units in one building. Apartments, tenements, condominiums, cooperatives and similar structures are multi-family dwellings.
23. Dwelling, one-family. A detached dwelling, other than a mobile or manufactured home, designed, occupied or intended for occupancy by a single family unit.
24. Dwelling, two-family. A detached dwelling, other than a mobile or manufactured home, containing two (2) separate dwelling units in one building, commonly known as a duplex.
25. Dwelling unit. A dwelling for occupancy by a single family unit.
26. Family. One or more persons related by blood or marriage, or not more than five (5) unrelated persons, occupying a single dwelling unit. A family is also a home serving nine (9) or fewer mentally or physically handicapped persons provided the home provides care on a twenty-four hour basis and is approved or licensed by a state agency or department under contract with the agency or department for that purpose. Domestic employees may be housed on the premises but are not counted as part of a family.
27. Flag lot. See Lot, flag.
28. Gross floor area. The total horizontal area of all floors of a building, including exterior balconies and mezzanines, measured from the faces of the exterior walls.
29. Home occupation. A customary occupation, profession, or trade carried on by an occupant of a one-family dwelling unit as a secondary use which is clearly incidental and subordinate to the residential character of the unit, and which does not involve more than 25% of the total floor area of the unit.
30. Hotel. [See SIC Code 7011.] A building in which lodging for pay is offered to the public, with or without meals, for transient or permanent guests, including motel or tourist court, containing five (5) or more guest rooms.
31. Junk, salvage, scrap, or wrecking yards. [See SIC Code 5093.] Any use involving storage or processing of inoperable, unused, dismantled, or wrecked vehicles, equipment, or machinery or the storage or processing of scrap metal, waste paper, rags, food processing wastes, construction wastes, industrial wastes, secondhand building materials, or other scrap, salvage, waste, or junk materials.
32. Lane. A narrow public way for vehicular and pedestrian travel which provides the principal means of access to abutting property, but not including an alley.

33. Lot. An area, plot, parcel or tract of land defined by metes and bounds in a deed or plat recorded in the land records of Lancaster County.
34. Lot, corner. A lot located at the intersection of two or more streets. See illustration on Page 1-8.
35. Lot depth. The mean horizontal distance between front and rear lot lines.
36. Lot, double frontage. A lot which has frontage on more than one street, other than an alley. A corner lot is not a double frontage lot unless it has frontage on three or more streets.
37. Lot, flag. A land parcel of more than five (5) acres having the configuration of an extended flagpole. The “pole” portion being less than fifty feet in width represents access to the main building site that is generally located to the rear of another lot fronting the required access to a public street or road. See illustration on Page 8.
38. Lot, interior. A lot other than a corner lot, with only one street frontage. See illustration on Page 8.
39. Lot width. The distance between side lot lines measured at the front building line.
40. Manufactured home. A structure manufactured after June 15, 1976, bearing certification of compliance with HUD standards pursuant to S.C. Code section 40-29-70, transportable in one or more sections, which in the traveling mode is eight body feet or more in width or forty body feet or more in length, or when erected on site, is 320 or more square feet, and which is built on a permanent chassis and designed to be used as a dwelling with or without permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning, and electrical systems contained in it.
41. Manufactured home park. A lot providing rented parking space for five or more manufactured homes used for dwelling units, including service buildings and facilities. Manufactured home sales or storage lots for unoccupied units are not manufactured home parks.
42. Minimum Lot Area (MLA). As specified in the applicable zoning district regulations unless the site will be on a septic system in which case rules by the State of South Carolina, Department of Health and Environmental Control.
43. Miniwarehouse. [See SIC Code 4225.] A building, or group of buildings, which contain individual locked compartments for storage of personal property.
44. Mobile home. A structure manufactured prior to June 15, 1976, or manufactured after June 15, 1976 without certification of compliance with HUD standards pursuant to S.C. Code section 40-29-70, which is a movable or portable dwelling unit over thirty (30) feet in length constructed to be towed on its own chassis, without permanent foundation, consisting of a single or two or more connected components. The term does not include

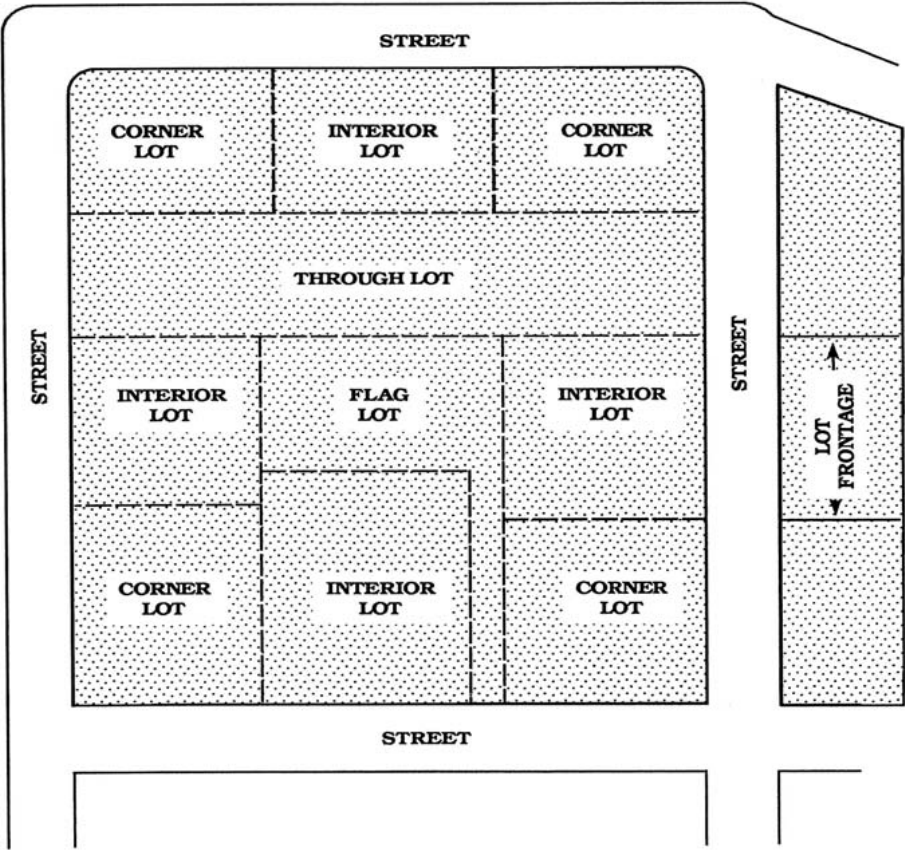
prefabricated, modular or unitized dwelling on a permanent foundation, or travel trailer, camper, or similar recreational unit.

45. Modular building. A structure consisting of two or more prefabricated components designed to be transported to a lot and placed on a permanent foundation, and which is certified by the South Carolina Building Codes Council as conforming to Southern Building Code standards for site built units. A mobile home, house trailer, or manufactured home is not a modular building.
46. Motel. [See SIC Code 7011.] A building or buildings in which lodging, with or without meals, is offered to the public for compensation, including a hotel, tourist court, or inn.
47. Nonconforming. A term applied to lots, structures, uses of land or structures, and characteristics of use of land or structures which were lawful before the passage or amendment of this ordinance, but which are prohibited by this ordinance or are not in compliance with the requirements of this ordinance.
48. Park. A public or private lot or facility for active or passive recreation, exercise, sports or similar activities, enhancement of natural features or beauty; but not including a commercially operated amusement park.
49. Parking lot. A public or private open lot or multi-level structure for parking motor vehicles as a principal use or as an accessory use to a commercial or industrial use.
50. Parking space. An area on a lot designated for parking a motor vehicle.
51. Permanent building. A structure on a separately constructed permanent foundation intended to remain in one location and last indefinitely.
52. Permitted use. A use permitted outright by district regulations.
53. Principal structure or use. A structure or use which is significant or primary rather than accessory.
54. Residence. A dwelling.
55. Setback. The depth or width of any required yard; the minimum distance between a structure and an adjacent lot or street; the area required to be unobstructed except for fences, flagpoles, clothes lines, bird houses or yard accessories.
56. Sexually Oriented Businesses. See definition in section 5-130 (b).
57. Sign. Any device designed to inform, advertise or attract attention such as a billboard, poster, painted surface, announcement, display, ribbon, pennant, flag, banner, illustration, or insignia, lighted or unlighted, stationary or moving.
58. Special exception. A use specifically permitted after review and approval by the Board of Zoning Appeals, subject to ordinance standards and additional conditions set by the Board of Zoning Appeals.
59. Street. A public or private thoroughfare for vehicular and pedestrian travel which

provides the principal means of access to abutting property, but not including an alley.

60. Structure. Anything constructed or erected, the use of which requires location of the ground, or attachment to something located on the ground, including buildings, mobile homes, travel trailers, signs, swimming pools, fences, and antennae, but excluding minor landscaping features such as ornamental pools, planters, bird baths, paved surfaces, walkways, driveways, recreational equipment, flagpoles, and mailboxes.
61. Tourist (guest) home. A dwelling in which lodging is provided in not more than three (3) rooms for paid guests, with or without meals. A tourist home shall not be considered an accessory use or customary home occupation.
62. Variance. Relief granted by the Board of Zoning Appeals from the strict application of zoning regulations in an individual case of unnecessary hardship based on factual findings required by law.
63. Yard. A required open space unoccupied and unobstructed by structures except those specifically permitted.
64. Yard, front. A yard situated between the front building line and the front lot line extending the full width of the lot.
65. Yard, rear. A yard situated between the rear building line and the rear lot line and extending the full width of the lot.
66. Yard, side. A yard situated between the side building line and a side lot line and extending from the front yard to the rear yard.

Illustration of Types of Lots



**CHAPTER II
DISTRICTS AND MAP**

**Article II
Establishment of Districts and Official Map**

§ 2-100. Establishment of districts.

The following districts are hereby established in the unincorporated portions of Lancaster County:

Map Symbols

Business-Oriented Districts

Commercial Rural	CR
Commercial Suburban	CS
Commercial Urban	CU
Office	OFF
Agricultural	AG
Industrial – Light	IL
Industrial – Heavy	IH

Residential Districts

Residential Rural	RR
Residential Suburban	RS
Residential Urban	RU

Planned Use Districts

Planned Development	PDD
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Special Use Districts

Mining	MIN
Public Uses	PU
Open Space	OS
Community Recreation Facilities	CRF

Overlay Districts

Historic and Natural Preservation	HNP
Equestrian Oriented Subdivision	EOS
Aviation Corridor	AC
Floodplain	FP
Floodway	FW
Carolina Heelsplitter	CH

Within each district, the regulations set forth herein shall apply uniformly to each class or kind of structure or land, except where such districts are overlapped or altered to accommodate the special needs of one (1) or more of the overlay district(s).

§ 2-101. Establishment of the official zoning and development district map.

Lancaster County is hereby divided into land use (zoning) districts, as shown on the official zoning districts map for Lancaster County, which together with all explanatory matter thereon, is hereby adopted by reference and declared to be part of this chapter. Additional areas may be defined and added from time to time by adoption by County Council, as provided for by Chapter VIII, Amendments.

§ 2-102. Interpretation of district boundaries.

Unless otherwise shown on the official zoning district map of Lancaster County, South Carolina, the boundary lines of districts coexist at lot lines, centerlines of creeks and streams, or corporate limit lines.

District boundary lines not coinciding with the above shall be determined by use of the scale of the official map unless actual dimensions are noted.

Where uncertainty exists regarding the boundaries as shown by the map, the County planning commission shall act to resolve any question or controversy arising over such district boundary line.

**CHAPTER III
GENERAL
REGULATIONS**

§ 3-100. Application of regulations.

- (a) No structure or land shall hereafter be erected, constructed, reconstructed, moved, structurally altered, used or occupied unless in conformity with the regulations in this ordinance applicable to the district in which it is located, except permitted nonconforming uses.
- (b) District regulations shall apply uniformly to each class of structure or land, and shall be interpreted as minimum requirements adopted for the purposes of zoning. When requirements of this ordinance are in conflict with requirements of any other applicable rule, regulation, ordinance or statute, the most restrictive requirements, or those imposing the higher standards shall apply.

§ 3-101. Street access required.

Except as otherwise specifically provided, no building shall be located, used or occupied on a lot without direct vehicular and pedestrian access to a street.

§ 3-102. Structures required to be on lots of record.

Any new structure, other than accessory use structures, erected after the effective date of this ordinance shall be on a lot as defined in this ordinance.

§ 3-103. Flag Lots Prohibited.

Lots with less than three acres within the primary lot area, and an access corridor less than fifty feet in width, shall be identified as Flag Lots and shall not be permitted in the unincorporated areas of Lancaster County, except under extenuating circumstances which would otherwise prohibit the use of such property.

§ 3-104. Reduction of lot or yard area prohibited.

No lot or yard existing on the effective date of this ordinance shall be reduced in dimension or area below the applicable district minimum requirements. New lots or yards shall meet the applicable district minimum requirements.

§ 3-105. Nonconforming structures or uses.

Nonconforming structures or land uses are declared to be incompatible with permitted uses in the districts established by this ordinance. It is the intent of this ordinance to allow nonconformities to continue until they are removed, but not to encourage their continuance. The lawful use of any structure or land on the effective date of this ordinance may be continued subject to the following regulations:

1. A nonconforming structure or use shall not be changed to any other nonconforming structure or use.
2. A permitted use in a structure which is on a nonconforming lot or which does not meet minimum yard requirements may be converted to another permitted use without enlargement.
3. A nonconforming structure shall not be repaired, altered or rebuilt except in conformity with this ordinance after sustaining damage or deterioration exceeding fifty (50%) percent of the appraised market value of the structure for tax purposes at the time of application for a permit.
4. A nonconforming structure shall not be removed or demolished and replaced with a nonconforming structure.
5. A nonconforming structure or use shall not be extended, enlarged, or intensified except in conformity with this ordinance; provided, however, a nonconforming use may be extended throughout any parts of a building which were manifestly arranged or designed for such use at the time of adoption or amendment of this ordinance, but the use shall not be extended outside the building.
6. A nonconforming use shall not be reestablished after vacancy, abandonment, or discontinuance for a period of six (6) consecutive months.
7. Nothing in this section shall prevent work on a structure which is necessary to protect public safety upon the order of the Zoning Administrator.
8. Ordinary repairs to a nonconforming structure, such as repairs to interior non-bearing walls, fixtures, wiring or plumbing to meet building codes may be permitted, provided the cubic content of the structure is not increased.

§ 3-106. Temporary nonconforming uses.

A temporary use permit may be issued by the Zoning Administrator for appropriate periods of time not to exceed 12 months for a nonconforming structure or use incidental to building construction or land development upon the condition that the structure or use be removed upon expiration of the permit.

§ 3-107. Dwellings on nonconforming lots of record.

In any district in which single family dwellings are permitted, notwithstanding limitations imposed by other provisions of this ordinance, a single family dwelling and customary accessory buildings may be erected on any single lot of record on the effective date of this ordinance, provided setback requirements of the district are met.

**CHAPTER IV
DISTRICT REGULATIONS**

**Article III
District Use and Dimensional Regulations**

The purpose of the several districts established by Article II, the uses permitted therein, and the dimensional requirements of each follows.

§ 4-100. Purpose

The seven (7) Business-Oriented Districts are designed to provide appropriate agricultural, business, commercial or industrial development options based on the location within the County to land owners and developers while enhancing the outcome, minimizing land use problems and ameliorating differences between potentially incompatible uses.

§ 4-101. CR, Commercial Rural District.

(a) *Purpose.* The CR District is intended to permit small-scale commercial development, which is compatible with the desired overall rural community character of the area in general, and with adjacent residential development in particular. It is intended to facilitate (for the area) the adequate provision of transportation, water, sewage disposal, and other public improvements and services as may be necessary to accommodate permitted development without adversely impacting the rural and agricultural character of such areas.

(b) *Permitted uses.*

a. **Land Uses Permitted by Right:**

Animal Services - Veterinary
Animal Services – Non-veterinary
Landscape and Horticultural Services
Retail Trade Store – Small
Scale
Retail Trade Store – Open Air Market

b. **Land Uses Permitted as Special Use:**

Membership Organization
Religious Institution
Utility Facilities
Communications Facilities
Funeral Services

c. **Land Uses Permitted as Conditional Uses:**

Commercial Kennels
Retail Trade Store – Building Materials
Retail Trade Store - Food
Gasoline Service Station
Bars and Taverns
Restaurants
Commercial Amusement/Recreation Facilities
Day Care - Child

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Manufactured Home
On-Site Composting/Wood Piles <5 cubic yards
On-Site Parking Lot

2) Land Uses Permitted as Special Use:

Drainage Structure
Filling
Forest Production
Exterior Communication Devices
On-Site Composting/Wood Piles 5–10 cubic yards

3) Land Uses Permitted as Conditional Use:

Gasoline Service Station - Market
Exterior Communication Devices not meeting
Special Use Requirements

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
On-Site Real Estate Sales Office
General Temporary Outdoor Sales
Outdoor Sales of Farm Products
Outdoor Assembly
Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:** (per Table 15.305)

Minimum Landscape Surface Ratio (LSR): .15

Minimum Lot Area (MLA): 3,000 square feet

Maximum Building Size (MBS): 5,000 square feet

b. **Bulk Requirements:** (per Table 15.403)

A: Minimum Lot Area: 3,000 square feet

B: Minimum Lot Width: 50 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 25 feet

D: Building to Residential Side Lot Line: 25 feet

E: Building to Residential Rear Lot Line: 20 feet

F: Building to Nonresidential Side Lot Line: 15 feet

G: Building to Nonresidential Rear Lot Line: 15 feet

H: Peripheral Setback: See 15.610(4)(b) along zoning district boundary

I: Minimum Paved Surface Setback: 10 feet

J: Minimum Building Separation: 30 feet (except per Board of Zoning Appeals)

K: Maximum Building Height: 25 feet (except per Board of Zoning Appeals)

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

c. **Landscaping Requirements:**

1) 40 landscaping points per 100 linear feet of building foundation

2) 15 landscaping points per 1,000 square feet of gross floor area

3) 40 landscaping points per 100 linear feet of street frontage

4) 80 landscaping points per 10,000 square feet paved area/20 stalls

d. **Performance Standards:** (See Subchapter 15-7)

e. **Signage Regulations:** (See Subchapter 15-8)

§ 4-102. CS, Commercial Suburban District.

(a) *Purpose.* This district is intended to permit large and small scale commercial development which is compatible with the desired overall suburban community character of the area in general. This is accomplished with relatively low maximum building sizes. Significant areas of landscaping are required in this district to ensure that this effect is achieved. A wide range of office, retail, and lodging land uses are permitted within this district. In order to ensure a minimum of disruption to residential development, no development within this district shall have direct access to a local residential street or a residential collector street.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Animal Services - Veterinary
Retail Trade Store - Food
Retail Trade Store – Small Scale
Restaurants
Fast Food Restaurants
Lodging
Transportation Services
Funeral Services
Motion Picture Facilities/Services
Repair Services – Non-Automotive

b. **Land Uses Permitted as Special Use:**

Retail Trade Store – Open Air Market
Membership Organization
Religious Institution
Communication Facilities
Utility Facilities

c. **Land Uses Permitted as Conditional Uses:**

Commercial Kennels
Retail Trade Store – Building Materials
Retail Trade Store – Large Scale
Motor Vehicle Dealer
Automobile Related Businesses
Gasoline Service Station – No Market
Bars and Taverns
Nightclubs
Day Care - Child

Day Care - Adult
Residential Care Facility
Private Transportation Facility
Air Transportation Terminal

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Company Cafeteria
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

On-Site Parking Lot
Company Provided On-Site Recreation without
lighting
Drainage Structure
Lawn Care
Exterior Communication Devices
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

3) Land Uses Permitted as Conditional Use:

Gasoline Service Station - Market
Company Provided On-Site Recreation with
lighting
Incidental Outdoor Display
Light Industrial Incidental to Indoor Sales
Exterior Communication Devices not meeting
Special Use Requirements

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Relocatable Building
On-Site Real Estate Sales Office
General Temporary Outdoor
Outdoor Assembly
Remediation Structure

(c)

Dimensional requirements:

- a. **Density and Intensity Requirements:**
 - Minimum Landscape Surface Ratio (LSR): .25
 - Minimum Lot Area (MLA): ½ (.5) acre
 - Maximum Building Size (MBS): 15,000 s.f.

- b. **Nonresidential Bulk Requirements:**
 - A:** Minimum Lot Area: ½ (.5) acre
 - B:** Minimum Lot Width: 100 feet
 - Minimum Setbacks:**
 - C:** Building to Front or Street Side Lot Line: 50 feet
 - D:** Building to Residential Side Lot Line: 50 feet
 - E:** Building to Residential Rear Lot Line: 50 feet
 - F:** Building to Nonresidential Side Lot Line: 20 feet
 - G:** Building to Nonresidential Rear Lot Line: 30 feet
 - H:** Peripheral Setback: See 15.610(4)(b) along zoning district boundary
 - I:** Minimum Paved Surface Setback: 20 feet
 - J:** Minimum Building Separation: 40 feet
 - K:** Maximum Building Height: 50 feet
 - L:** Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

- c. **Landscaping Requirements:**
 - 1) 40 landscaping points per 100 linear feet of building foundation
 - 2) 10 landscaping points per 1,000 square feet of gross floor area
 - 3) 40 landscaping points per 100 linear feet of street frontage
 - 4) 80 landscaping points per 10,000 square feet paved area/20 stalls

- d. **Nonresidential Performance Standards:** (See Subchapter 15-7)

- e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-103. CU, Commercial Urban District.

(a) *Purpose.* This district is intended to permit both large and small scale commercial development at intensities which provide significant incentives for infill development and the continued economic viability of existing development. To accomplish this effect, maximum building sizes are eliminated as compared to those required in the CS District. A wide range of office, retail, and lodging land uses are permitted within this district. In order to ensure a minimum of disruption to residential development, no development within this district shall take direct access to a local residential street or a residential collector street.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Animal Services - Veterinary
Retail Trade Store - Food
Retail Trade Store – Small Scale
Restaurants
Fast Food Restaurants
Lodging
Transportation Services
Funeral Services
Repair Services – Non-Automotive
Motion Picture Facilities/Services

b. **Land Uses Permitted as Special Use:**

Automobile Related Businesses
Membership Organization
Religious Institution
Communications Facilities
Utility Facilities
Private Transportation Facility

c. **Land Uses Permitted as Conditional Uses:**

Single-Family Residences
Multi-Family Residences
Retail Trade Store – Large Scale
Gasoline Service Station – No Market
Bars and Taverns
Nightclubs
Day Care - Child
Day Care - Adult
Residential Care Facility

Coliseum, Stadium or Arena
Air Transportation Terminal

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Private Residential Garage or Shed
Company Cafeteria
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Commercial Apartment for owner/operator
On-Site Parking Lot
Company Provided On-Site Recreation without
lighting
Lawn Care
Drainage Structure
Filling
Exterior Communication Devices
Home Occupation
On-Site Composting/Wood Piles 5 – 10 cubic yards
Gasoline Service Station - Market

3) Land Uses Permitted as Conditional Use:

Company Provided On-Site Recreation with lighting
Incidental Outdoor Display
Light Industrial Incidental to Indoor Sales
Exterior Communication Devices not meeting Special Use
Requirements

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Relocatable Building
On-Site Real Estate Sales Office
General Temporary Outdoor Sales
Outdoor Sales of Farm Products
Outdoor Assembly
Remediation Structure

(c)

Dimensional requirements:

a. **Residential Density and Intensity Requirements:**

Maximum Gross Density (MGD): up to 8 units per acre

Minimum Lot Area (MLA): 1 acre

Minimum Site Area (MSA): 1 acre

b. **Residential Bulk Requirements:**

A: Minimum Lot Area: 1 acre

B: Minimum Lot Width: 200 feet

Minimum Setbacks:

C: Building Coverage Ratio: 0.50

D: Front or Street Side Lot Line to Residence: 30 feet, add 10 more feet for a lot adjacent to a street with an Officially Mapped right-of-way equal to or exceeding 100 feet

E: Front or Street Side Lot Line to Garage: 30 feet, add 20 more feet for a lot adjacent to a street with an Officially Mapped right-of-way equal to or exceeding 100 feet

F: Side Lot Line to Residence or Garage: 20 feet

G: Rear Lot Line to Residence or Garage: 25 feet

H: Side Lot Line to Other Accessory Structure: 10 feet

I: Rear Lot Line to Other Accessory Structure: 15 feet

J: Peripheral Setback: See 15.610(4)(b) along zoning district boundary

K: Minimum Paved Surface Setback: 10 feet

L: Minimum Dwelling Unit Separation: 20 feet

M: Maximum Height of Dwelling Unit: 35 feet (Can exceed 35 feet w/conditional use)

N: Maximum Height of Accessory structure: 12 feet

O: Minimum Number of Off-Street Parking Spaces Required on the Lot (Includes garage, drives, & all designated parking surfaces: 1 space for each bedroom

P: Minimum Dwelling Core Dimensions: 24 feet by 40 feet

Q: Minimum Roof Pitch: 3:12

R: Minimum Eave Width: 18 inches

c. **Residential Landscaping Requirements:** See Nonresidential Landscaping Requirements for Residential.

d. **Residential Performance Standards:** (See Subchapter 15-7)

e. **Residential Signage Regulations:** (See Subchapter 15-8)

f. **Nonresidential Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .25

Minimum Lot Area (MLA): 1 acre

Maximum Building Size (MBS): N/A

g. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: 1 acre

B: Minimum Lot Width: 200 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 50 feet

D: Building to Residential Side Lot Line: 30 feet

E: Building to Residential Rear Lot Line: 50 feet

F: Building to Nonresidential Side Lot Line: 20 feet

G: Building to Nonresidential Rear Lot Line: 30 feet

H: Peripheral Setback: See 15.610(4)(b) along zoning district boundary

I: Minimum Paved Surface Setback: 25 feet

J: Minimum Building Separation: 20 feet

K: Maximum Building Height: 50 feet (Can exceed 50 feet w/conditional use permit)

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

h. **Nonresidential Landscaping Requirements:**

1) 20 landscaping points per 100 linear feet of building foundation

2) 5 landscaping points per 1,000 square feet of gross floor area

3) 20 landscaping points per 100 linear feet of street frontage

4) 40 landscaping points per 10,000 square feet paved area per 20 stalls

i. **Nonresidential Performance Standards:** (See Subchapter 15-7)

j. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-104. OFF, Office District.

(a) *Purpose.* This district is intended to permit high-quality office and institutional uses at intensity compatible with the community character of area it is being developed in. A relatively low Maximum Building Size and significant areas of landscaping are required in this district to ensure that this effect is achieved. In order to ensure a minimum of disruption to residential development, no development within this district shall have direct access to a local residential street.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

General Office
Banks, Savings and Loans and Credit Unions
Health Services and Facilities

b. **Land Uses Permitted as Special Use:**

Membership Organization
Religious Institution
Communication Facilities
Utility Facilities

c. **Land Uses Permitted as Conditional Uses:**

Job Training and Vocational Rehabilitation

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

On-Site Parking Lot
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Drainage Structure
Exterior Communication Devices
On-Site Composting/Wood Piles 5 – 10 cubic yards

- 3) Land Uses Permitted as Conditional Use:
- Company Provided On-Site Recreation with lighting
 - Incidental Outdoor Display
 - Exterior Communication Devices not meeting Special Use Requirements

e. **Land Uses Permitted as Temporary Uses:**

- Contractor's Project Office
- Contractor's On-Site Equipment Storage Relocatable Building
- On-Site Real Estate Sales Office
- General Temporary Outdoor Outdoor Assembly
- Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .25

Minimum Lot Area (MLA): ½ (.5) acre

Maximum Building Size (MBS): 15,000 s.f.

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: ½ (.5) acre

B: Minimum Lot Width: 100 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 40 feet

D: Building to Residential Side Lot Line: 30 feet

E: Building to Residential Rear Lot Line: 30 feet

F: Building to Nonresidential Side Lot Line: 15 feet

G: Building to Nonresidential Rear Lot Line: 20 feet

H: Peripheral Setback: See 15.610(4)(b) along zoning district boundary

I: Minimum Paved Surface Setback: 15 feet

J: Minimum Building Separation: 25 feet

K: Maximum Building Height: 30 feet

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

- c. **Landscaping Requirements:**
 - 1) 40 landscaping points per 100 linear feet of building foundation
 - 2) 10 landscaping points per 1,000 square feet of gross floor area
 - 3) 40 landscaping points per 100 linear feet of street frontage
 - 4) 80 landscaping points per 10,000 square feet paved area/20 stalls
- d. **Nonresidential Performance Standards:** (See Subchapter 15-7)
- e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-105. AG, Agricultural District.

- (a) *Purpose.* This district is intended to permit development which is solely of a rural community character. The land use standards for this district permit very low density single-family residential development at a density of 1 dwelling unit for every 15 gross acres, as well as a variety of agricultural and agricultural support land uses. Density and intensity standards for this district are designed to ensure that development which requires even a minimum of urban services does not occur until such services are available. As such, the AG District shall either serve as a designation which preserves and protects agricultural activities, or as a “holding zone” which provides for an interim land use (agriculture) that will easily permit further development (with rezoning to another district) at the appropriate time.
- (b) *Permitted uses:*
 - a. **Land Uses Permitted by Right:**
 - Single-Family – 15 acre lot
 - Manufactured Home
 - Home Occupation
 - Agricultural Production – Crops
 - Agricultural Production - Animal
 - Landscape and Horticultural Services

b. **Land Uses Permitted as Special Use:**

On-site Agricultural Retail
Animal Services – Non-Veterinary
Communications Facilities
Utility Facilities

c. **Land Uses Permitted as Conditional Use:**

Forest Production
Fishing, Hunting and Trapping Facility
Commercial Kennels
Bed and Breakfast

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Farm Buildings
Detached Garage, Carport or Shed
Lawn Care
On-Site Composting/Wood Piles <5 cubic yards
Animal Production Support Activities

2) Land Uses Permitted as Special Use:

On-Site Parking Lot
Private Residential Recreational Facility
Private Residential Kennel
Private Residential Stable
Drainage Structure
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

(3) Land Uses Permitted as Conditional Use:

Exterior Communication Devices

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
On-Site Real Estate Sales Office
Outdoor Sales of Farm Products
Outdoor Assembly
Remediation Structure
Dependent Care Residence

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .50
Minimum Lot Area (MLA): 1 acre
Maximum Building Size (MBS): 10,000 s.f.

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: 1 acre

B: Minimum Lot Width: 200 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 50 feet

D: Building to Residential Side Lot Line: 30 feet

E: Building to Residential Rear Lot Line: 50 feet

F: Building to Nonresidential Side Lot Line: 30 feet

G: Building to Nonresidential Rear Lot Line: 50 feet

H: Peripheral Setback: See 15.610(4)(b) along zoning district boundary

I: Minimum Paved Surface Setback: 25 feet

J: Minimum Building Separation: 25 feet

K: Maximum Building Height: 30 feet

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

c. **Landscaping Requirements:**

1) 40 landscaping points per 100 linear feet of building foundation

2) 10 landscaping points per 1,000 square feet of gross floor area

3) 40 landscaping points per 100 linear feet of street frontage

4) 80 landscaping points per 10,000 square feet paved area/20 stalls

- d. **Nonresidential Performance Standards:** (See Subchapter 15-7)
- e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-106. IL, Industrial - Light District.

(a) *Purpose.* This district is intended to permit both large and small scale industrial and office development at an intensity which is consistent with the overall desired suburban community character of the designated zoning district. Beyond a relatively low maximum Floor Area Ratio (FAR) and a relatively high minimum Green Space Ratio (GSR), the primary distinguishing feature of this district is that it is geared to indoor industrial activities which are not typically associated with high levels of noise, soot, odors and other potential nuisances for adjoining properties. In order to ensure a minimum of disruption to residential development, no development within this district shall take direct access to a local residential street or a residential collector street.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Contractor's Facility – Light Construction
Motor Freight Warehousing Facility – No Storage
Wholesale Distribution Facility

b. **Land Uses Permitted as Special Use:**

Communications Facilities
Utility Facilities

c. **Land Uses Permitted as Conditional Use:**

Motor Freight Warehousing Facility – Storage
Off-site Parking Lot

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Company Cafeteria
On-site Parking Lot
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Company Provided On-Site Recreation
without Lighting
Indoor Sales Incident to Light Industrial Use
Exterior Communication Devices
Drainage Structure
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

(3) Land Uses Permitted as Conditional Use:

Company Provided On-site Recreation with
Lighting

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
On-Site Real Estate Sales Office
Outdoor Sales of Farm Products
Outdoor Assembly
Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .25
Minimum Lot Area (MLA): 1 acre
Maximum Building Size (MBS): N/A

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: 1 acre

B: Minimum Lot Width: 100 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 40 feet

D: Building to Residential Side Lot Line: 30 feet

E: Building to Residential Rear Lot Line: 30 feet

F: Building to Nonresidential Side Lot Line: 15 feet

G: Building to Nonresidential Rear Lot Line: 25 feet

H: Peripheral Setback: See 15.610(4)(b) along zoning district
boundary

I: Minimum Paved Surface Setback: 15 feet

J: Minimum Building Separation: 25 feet

K: Maximum Building Height: 50 feet

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

c. **Landscaping Requirements:**

- 1) 40 landscaping points per 100 linear feet of building foundation
- 2) 10 landscaping points per 1,000 square feet of gross floor area
- 3) 40 landscaping points per 100 linear feet of street frontage
- 4) 80 landscaping points per 10,000 square feet paved area/20 stalls

d. **Nonresidential Performance Standards:** (See Subchapter 15-7)

e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-107. IH, Industrial - Heavy District.

(a) *Purpose.* This district is designed to permit a very wide variety of industrial uses which may occur both indoors and outdoors, including certain land uses which are permitted in no other zoning district because of their potential to create nuisances for adjoining properties. In order to ensure a minimum of disruption to residential development, no development within this district shall take direct access to a local residential street or a residential collector street.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Contractor's Facility – Heavy Construction
Manufacturing Plant

b. **Land Uses Permitted as Special Use:**

Communications Facilities
Utility Facilities

c. **Land Uses Permitted as Conditional Use:**

Waste Recycling and Disposal
Coliseum, Stadium or Arena
Adult Uses
Off-site Parking Lot

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Company Cafeteria
On-site Parking Lot
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Company Provided On-Site Recreation
without Lighting
Indoor Sales Incident to Heavy Industrial Use
Exterior Communication Devices
Drainage Structure
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

(3) Land Uses Permitted as Conditional Use:

Company Provided On-site Recreation with
Lighting

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
On-Site Real Estate Sales Office
Outdoor Sales of Farm Products
Outdoor Assembly
Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .25
Minimum Lot Area (MLA): 1 acre
Maximum Building Size (MBS): N/A

- b. **Nonresidential Bulk Requirements:**
 - A:** Minimum Lot Area: 1 acre
 - B:** Minimum Lot Width: 200 feet
 - Minimum Setbacks:**
 - C:** Building to Front or Street Side Lot Line: 50 feet
 - D:** Building to Residential Side Lot Line: 30 feet
 - E:** Building to Residential Rear Lot Line: 30 feet
 - F:** Building to Nonresidential Side Lot Line: 20 feet
 - G:** Building to Nonresidential Rear Lot Line: 30 feet
 - H:** Peripheral Setback: See 15.610(4)(b) along zoning district boundary
 - I:** Minimum Paved Surface Setback: 20 feet
 - J:** Minimum Building Separation: 30 feet
 - K:** Maximum Building Height: 50 feet
 - L:** Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

- c. **Landscaping Requirements:**
 - 1) 50 landscaping points per 100 linear feet of building foundation
 - 2) 20 landscaping points per 1,000 square feet of gross floor area
 - 3) 50 landscaping points per 100 linear feet of street frontage
 - 4) 80 landscaping points per 10,000 square feet paved area/20 stalls

- d. **Nonresidential Performance Standards:** (See Subchapter 15-7)

- e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-108. Purpose

The three (3) Residential Districts are designed to provide appropriate residential development options based on the location within the County to land owners and developers while enhancing the outcome, minimizing land use problems and ameliorating differences between potentially incompatible uses.

§ 4-109. RR, Residential Rural District.

(a) *Purpose.* This district is intended to permit development which has a low density, rural community character. The land use standards for this district permit primarily single-family detached residential development and related institutional land uses. Density and intensity standards for this district are designed to ensure that the RR District shall serve as a designation which preserves and protects the rural community character of its area. A duplex residential development option is available in this district, with a Maximum Gross Density (MGD) of 1 dwelling unit per gross acre.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Single-Family Housing
Manufactured Home

b. **Land Uses Permitted as Special Use:**

Utility Facilities

c. **Land Uses Permitted as Conditional Uses:**

Two-Family Housing
Bed and Breakfast
Mobile Home Park

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Farm Buildings
Detached Garage, Carport or Shed
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

On-Site Parking Lot
Private Residential Recreational Facility
Drainage Structure
Filling
Home Occupation
On-Site Composting/Wood Piles 5 – 10 cubic yards

3) Land Uses Permitted as Conditional Use:

Private Residential Kennel
Exterior Communication Devices

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Outdoor Assembly
Remediation Structure
Temporary Dependent Care Residences

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

- 1) Conventional Single-family Development:
Maximum Gross Density (MGD): 1.00 du/acre
Minimum Lot Area (MLA): 1 acre
Minimum Site Area (MSA): 1 acre

b. **Residential Bulk Requirements:**

- A.** Minimum Lot Area: 1 acre
B. Minimum Lot Width: 200 feet
Minimum Setbacks:
C: Building Coverage Ratio: 0.25
D: Front or Street Side Lot Line to House: 50 feet
E: Front or Street Side Lot Line to Attached Garage: 50 feet
F: Side Lot Line to House or Attached Garage: 25 feet
G: Rear Lot Line to House/Attached Garage: 50 feet
H: Side Lot Line to Accessory Structure: 25 feet
I: Rear Lot Line to Accessory Structure: 25 feet
J: Peripheral Setback: See 15.610(4)(b) along zoning district boundary
K: Minimum Paved Surface Setback: 15 feet
L: Minimum Dwelling Unit Separation: 50 feet
M: Maximum Height of Dwelling Unit: 35 feet
N: Maximum Height of Accessory Structure: 15 feet
O: Minimum Number of Off-Street Parking Spaces Required on the Lot (Includes garage, drives, & all designated parking surfaces): 3 spaces per du
P: Minimum Dwelling Core Dimensions: 24 feet by 40 feet
Q: Minimum Roof Pitch: 3:12
R: Minimum Eave Width: 18 inches

- c. **Residential Landscaping Requirements:**
 - 1) 20 landscaping points per 100 linear feet of building foundation
 - 2) 10 landscaping points per 1,000 square feet of gross floor area
 - 3) 20 landscaping points per 100 linear feet of street frontage
 - 4) 40 landscaping points per 10,000 square feet paved area/20 stalls
- d. **Residential Performance Standards:** (See Subchapter 15-7)
- e. **Residential Signage Regulations:** (See Subchapter 15-8)

§ 4-110. RS, Residential Suburban District.

(a) *Purpose.* This district is intended to permit development which has a moderately high density community character which lies between rural and urban. The land use standards for this district permit both single-family detached residential development and certain types of moderately high density single-family attached development permitted by right and moderately high density single-family attached development permitted as a conditional use, as well as a variety of related land uses. Density and intensity standards for this district are designed to ensure that the RS District shall serve as a designation which preserves and protects the moderately high density residential community character of its area. A variety of residential development options are available in this district, with a Maximum Gross Density (MGD) of 8 dwelling units per gross acre.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Conventional Single-Family
Duplex

b. **Land Uses Permitted as Special Use:**

Utility Facilities

c. **Land Uses Permitted as Conditional Use:**

Clustered Single-Family
Mobile Home Park
Bed and Breakfast
Off-Site Parking Lot

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Private Residential Garage or Shed
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

On-Site Parking Lot
Private Residential Recreational Facility
Drainage Structure
Filling
Family Day Care Home (4-8 children)

3) Land Uses Permitted as Conditional Use:

Exterior Communication Devices
Home Occupation

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
On-Site Real Estate Sales Office
Outdoor Assembly
Remediation Structure
Dependent Care Residences

(c) *Dimensional Requirements:*

a. **Residential Density and Intensity Requirements:**

Density (MGD): 8.00 du/acre

Minimum Lot Area (MLA):

Conventional Single-Family: 6,000 square feet

Cluster Single-Family: 4,500 square feet

Duplex: 6,000 square feet

Mobile Home Park: 4,500 square feet

Minimum Site Area (MSA):

Conventional Single-Family:	6,000 square feet
Cluster Single-Family:	20,000 square feet
Duplex:	6,000 square feet
Mobile Home Park:	5 acres

b. **Residential Bulk Requirements:**

- A:** Minimum Lot Area: **Single-family and Duplex:** 6,000 square feet; **Cluster and Mobile Home Park:** 4,500 square feet
- B:** Minimum Lot Width: 100 feet
- Minimum Setbacks:**
- C:** Building Coverage Ratio: 0.50
- D:** Front or Street Side Lot Line to House: 25 feet
- E:** Front or Street Side Lot Line to Attached Garage: 25 feet
- F:** Side Lot Line to House or Attached Garage: 15 feet
- G:** Rear Lot Line to House or Attached Garage: 20 feet
- H:** Side Lot Line to Accessory Structure: 10 feet
- I:** Rear Lot Line to Accessory Structure: 10 feet
- J:** Peripheral Setback: See 15.610(4)(b) along zoning district boundary
- K:** Minimum Paved Surface Setback: 5 feet from side or rear property line, except that an existing paved area nearer than 5 feet from a side lot line may be replaced provided that it is not nearer than the existing location and surface water from the paved area is directed away from the side property line.
- L:** Minimum Dwelling Unit Separation: 10 feet
- M:** Maximum Height of Dwelling Unit: 35 feet
- N:** Maximum Height of Accessory Structure: 15 feet
- O:** Minimum Number of Off-Street Parking Spaces Required on the Lot (Includes garage, drives, & all designated parking surfaces): 3 spaces per du, 2 spaces are required per mobile home unit
- P:** Minimum Dwelling Core Dimensions: 24 feet by 40 feet
- Q:** Minimum Roof Pitch: 3:12
- R:** Minimum Eave Width: 18 inches

- c. **Residential Landscaping Requirements:**
 - 1) 20 landscaping points per 100 linear feet of building foundation
 - 2) 10 landscaping points per 1,000 square feet of gross floor area
 - 3) 20 landscaping points per 100 linear feet of street frontage
 - 4) 40 landscaping points per 10,000 square feet paved area/20 stalls
- d. **Residential Performance Standards:** (See Subchapter 15-7)
- e. **Residential Signage Regulations:** (See Subchapter 15-8)

§ 4-111. RU, Residential Urban District.

- (a) *Purpose.* This district is intended to permit development which has a high density, urban community character. The land use standards for this district permit single-family attached development permitted by right, and multi-family development permitted as a conditional use, as well as a variety of related land uses. Density and Intensity standards for this district are designed to ensure that the RU District shall serve as a designation which preserves and protects the urban residential community character of its area. A variety of residential development options are available in this district, with a Maximum Gross Density (MGD) of 12 dwelling units per gross acre.
- (b) *Permitted uses:*
 - a. **Land Uses Permitted by Right:**
 - Conventional Single-Family Dwelling – Two-Family Dwelling - Multi-Family
 - b. **Land Uses Permitted as Special Use:**
 - Utility Facilities

c. **Land Uses Permitted as Conditional Use:**

Clustered Single-Family
Dwelling, Multi-Family – Apartments
Dwelling, Multi-Family – Mixed Use
Off-Site Parking Lot

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Private Residential Garage or Shed
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

On-Site Parking Lot
Private Residential Recreational Facility
Drainage Structure
Filling
Family Day Care Home (up to 5 children)

3) Land Uses Permitted as Conditional Use:

Exterior Communication Devices
Home Occupation

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
On-Site Real Estate Sales Office
Outdoor Assembly
Remediation Structure
Dependent Care Residences

(c) *Dimensional Requirements:*

a. **Residential Density and Intensity Requirements:**

Density (MGD): 12.00 du/acre

Minimum Lot Area (MLA):

Conventional Single-Family: 6,000 square feet

Cluster Single-Family: 4,500 square feet

Dwelling, Two-Family: 6,000 square feet

Multi-Family - Apartment: 2,500 square feet

Multi-Family – Mixed Use: 2,500 square feet

Minimum Site Area (MSA):

Conventional Single-Family:	6,000 square feet
Cluster Single-Family:	20,000 square feet
Dwelling, Two-Family:	6,000 square feet
Multi-Family - Apartment:	1 acre
Multi-Family – Mixed Use:	2 acres

b. **Residential Bulk Requirements:**

- A:** Minimum Lot Area: **Single-family** and **Duplex:** 6,000 square feet; **Cluster:** 4,500 square feet; **Multi-Family:** 2,500 square feet
- B:** Minimum Lot Width: 100 feet
- Minimum Setbacks:**
- C:** Building Coverage Ratio: 0.50
- D:** Front or Street Side Lot Line to House/Multi-Family: 20 feet
- E:** Front or Street Side Lot Line to Attached Garage: 20 feet
- F:** Side Lot Line to House or Attached Garage: 10 feet
- G:** Side Lot Line to Multi-Family: 15 feet
- H:** Rear Lot Line to House or Attached Garage: 15 feet
- I:** Rear Lot Line to Multi-Family: 20 feet
- J:** Side Lot Line to Accessory Structure: 10 feet
- K:** Rear Lot Line to Accessory Structure: 10 feet
- L:** Peripheral Setback: See 15.610(4)(b) along zoning district boundary
- M:** Minimum Paved Surface Setback: 5 feet from side or rear property line, except that an existing paved area nearer than 5 feet from a side lot line may be replaced provided that it is not nearer than the existing location and surface water from the paved area is directed away from the side property line.
- N:** Minimum Dwelling Unit Separation – Single-Family: 10 feet
- O:** Minimum Dwelling Unit Separation – Multi-Family: 20 feet
- P:** Maximum Height of Dwelling Unit: 35 feet
- Q:** Maximum Height of Accessory Structure: 15 feet
- R:** Minimum Number of Off-Street Parking Spaces Required on the Lot (Includes garage, drives, & all designated parking surfaces): 3 spaces per du, 2 spaces are required per Multi-Family dwelling unit
- S:** Minimum Dwelling Core Dimensions: 24 feet by 40 feet
- T:** Minimum Roof Pitch: 3:12
- U:** Minimum Eave Width: 18 inches

c. **Residential Landscaping Requirements:**

- 1) 20 landscaping points per 100 linear feet of building foundation
- 2) 10 landscaping points per 1,000 square feet of gross floor area
- 3) 20 landscaping points per 100 linear feet of street frontage
- 4) 40 landscaping points per 10,000 square feet paved area/20 stalls

d. **Residential Performance Standards:** (See Subchapter 15-7)

e. **Residential Signage Regulations:** (See Subchapter 15-8)

f. **Nonresidential Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .250

Minimum Lot Area (MLA): 2,500 square feet

Maximum Building Size (MBS): 100 feet wide

g. **Nonresidential Bulk Requirements:** (per Table 15.403)

A: Minimum Lot Area: 2,500 square feet

B: Minimum Lot Width: 100 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 20 feet

D: Building to Residential Side Lot Line: 50 feet

E: Building to Residential Rear Lot Line: 25 feet

F: Building to Nonresidential Side Lot Line: 25 feet

G: Building to Nonresidential Rear Lot Line: 25 feet

H: Peripheral Setback: See 15.610(4)(b) along zoning district boundary

I: Minimum Paved Surface Setback: 5 feet from side or rear; 10 feet from street

J: Minimum Building Separation: 50 feet

K: Maximum Building Height: 35 feet

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

- h. **Nonresidential Landscaping Requirements:**
 - 1) 50 landscaping points per 100 linear feet of building foundation
 - 2) 20 landscaping points per 1,000 square feet of gross floor area
 - 3) 50 landscaping points per 100 linear feet of street frontage
 - 4) 100 landscaping points per 10,000 square feet paved area/20stalls
- i. **Nonresidential Performance Standards:** (See Subchapter 15-7)
- j. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-112. Purpose

Planned Use Districts are designed to provide appropriate residential/commercial development options based on the location within the County to land owners and developers while enhancing the outcome, minimizing land use problems and ameliorating differences between potentially incompatible uses.

§ 4-113. PDD, Planned Development District.

(a) *Purpose.* This district is designed to indicate unique areas of the County which require the detailed planning approach of the planned unit development process, regardless of what type or types of development are contemplated. Land uses existing as of the effective date of this Chapter are permitted to continue in this district. Any change of use or structures shall require the approval of such change under the planned unit development process, and the establishment of a planned unit development zoning designation on the subject property.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Land uses existing on the subject property as of the effective date of this Chapter.

b. **Land Uses Permitted as Special Use:**

None

c. **Land Uses Permitted as Conditional Use:**

None

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Accessory land uses existing on the subject property as of the effective date of this Chapter

2) Land Uses Permitted as Special Use:

None

3) Land Uses Permitted as Conditional Use:

None

e. **Land Uses Permitted as Temporary Uses:**

None

§ 4-114. Purpose

The Special Use Districts are designed to provide appropriate non-residential development options based on the location within the County to land owners and developers while enhancing the outcome, minimizing land use problems and ameliorating differences between potentially incompatible uses.

§ 4-115. MIN, Mining District.

- (a) *Purpose.* The purpose of this district is to provide for the conduct of mining for metallic materials. This district as it applies to actual mining and processing is intended to be a basic use district and should include enough land area to accommodate the principal (mining) use and to afford adequate buffering and land for accessory use.

(b) *Prohibitions:*

- a. Within the County, all mines shall meet all applicable Federal and State standards including, but not exclusive of, all State of South Carolina, Department of Health and Environmental Control standards.
- b. Within the County, there shall be no disposal of mining wastes from a mine outside of Lancaster County.

(c) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Any uses permitted in the districts petitioned from during the time in which the uses are being converted to mining. Agriculture and Forestry uses are encouraged to continue during the mining phase.

b. **Land Uses Permitted as Special Use:**

Communications Facilities
Utility Facilities

c. **Land Uses Permitted as Conditional Use:**

Manufacturing or Processing Operations
Mining of Metallic Minerals
Shipping Operations

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Company Cafeteria
On-site Parking Lot
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Company Provided On-Site Recreation
without Lighting
Indoor Sales Incident to Mining Uses
Exterior Communication Devices
Drainage Structure
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

(3) Land Uses Permitted as Conditional Use:

Company Provided On-site Recreation with Lighting

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Remediation Structure

(d) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): N/A

Minimum Lot Area (MLA): 320 acres

Maximum Building Size (MBS): N/A

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: 320 acre

B: Minimum Lot Width: N/A

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 1000 feet

D: Building to Residential Side Lot Line: 1000 feet

E: Building to Residential Rear Lot Line: 1000 feet

F: Building to Nonresidential Side Lot Line: 1000 feet

G: Building to Nonresidential Rear Lot Line: 1000 feet

H: Peripheral Setback: See along zoning district boundary

I: Minimum Paved Surface Setback: N/A

J: Minimum Building Separation: 30 feet

K: Maximum Building Height: 35 feet

L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

c. **Landscaping Requirements:** N/A

d. **Nonresidential Performance Standards:** (See Subchapter 15-7)

e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-116. PU, Public Uses District.

(a) *Purpose.* The purpose of this district is to provide locations for uses that support government, civic, cultural, recreational, health and infrastructure aspects of the community, such as public educational institutions, community and group meeting centers, fire stations, cemeteries and libraries. This district also accommodates large-scale public facilities such as: storm water detention and retention facilities; water treatment facilities; government operated solid waste transfer stations and recycling facilities; multi-modal facilities; transit stations; corporation yards; cemeteries and government operated landfill sites.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

Any governmental or other public agency uses.

b. **Land Uses Permitted as Special Use:**

Communications Facilities

c. **Land Uses Permitted as Conditional Use:**

N/A

d. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): N/A

Minimum Lot Area (MLA): N/A

Maximum Building Size (MBS): N/A

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: N/A

B: Minimum Lot Width: N/A

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: N/A

D: Building to Residential Side Lot Line: N/A

E: Building to Residential Rear Lot Line: N/A

F: Building to Nonresidential Side Lot Line: N/A

- G:** Building to Nonresidential Rear Lot Line: N/A
- H:** Peripheral Setback: N/A
- I:** Minimum Paved Surface Setback: N/A
- J:** Minimum Building Separation: N/A
- K:** Maximum Building Height: 50 feet
- L:** Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

- c. **Landscaping Requirements:** N/A
- d. **Nonresidential Performance Standards:** (See Subchapter 15-7)
- e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-117. OS, Open Space District.

- (a) *Purpose.* The intent of the Open Space District is to protect and preserve lands in a predominantly undeveloped state while providing one (1) or more of the following community benefits: extensions to existing undeveloped open space lands; buffers to developed areas; view corridors; access to trails, trailheads, water bodies or National Forest areas; passive recreation uses including trails; unique ecological habitats and historic sites.
- (b) *Permitted uses:*
 - a. **Land Uses Permitted by Right:**
Open Space
 - b. **Land Uses Permitted as Special Use:**
Communications Facilities
Restoration and Stabilization of Historic Structures
 - c. **Land Uses Permitted as Conditional Use:**
Utility Facilities
Roads and Driveways

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Fences
Natural Resource Management
On-site Parking Lot
Recreation Paths/Trails
Small Incidental Structures
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Exterior Communication Devices
Drainage Structure
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

(3) Land Uses Permitted as Conditional Use:

Small Scale Renewable Energy Systems

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): N/A
Minimum Lot Area (MLA): N/A
Maximum Building Size (MBS): N/A

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: N/A
B: Minimum Lot Width: N/A
Minimum Setbacks:
C: Building to Front or Street Side Lot Line: N/A
D: Building to Residential Side Lot Line: N/A
E: Building to Residential Rear Lot Line: N/A
F: Building to Nonresidential Side Lot Line: N/A
G: Building to Nonresidential Rear Lot Line: N/A
H: Peripheral Setback: N/A
I: Minimum Paved Surface Setback: N/A
J: Minimum Building Separation: N/A

K: Maximum Building Height: 25 feet
L: Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

- c. **Landscaping Requirements:** N/A
- d. **Nonresidential Performance Standards:** (See Subchapter 15-7)
- e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

§ 4-118. CRF, Community Recreation Facilities District.

(a) *Purpose.* The intent of the Community Recreation Facilities District is to preserve land well suited for outdoor recreational purposes and to provide for privately run recreation, amusement, play or relaxation opportunities.

(b) *Permitted uses:*

a. **Land Uses Permitted by Right:**

- 1. Outdoor recreational uses that do not require enclosed structures, including park, picnic area, playground, athletic field, golf course, golf driving range, polo field, exhibition grounds, bowling and croquet greens, outdoor court games, and similar places of outdoor recreation that have similar impacts as the listed uses.

b. **Land Uses Permitted as Special Use:**

Religious Institution

c. **Land Uses Permitted as Conditional Use:**

- 1. Outdoor recreational uses that require enclosed structures or substantial improvements, including skateboard park, swimming pool, sports arena, miniature golf course; course for model airplane, boats, cars or trains; amusement rides, country club, public stables, resort, racetrack, stadium, lodge, club or resort for swimming, boating, fishing, hunting or shooting; and similar types of uses as determined by the Planning Department.

2. Utility Facilities
3. Communications Facilities
4. Campgrounds/Recreational Vehicle Parks

d. **Land Uses Permitted as Accessory Uses:**

1) Land Uses Permitted by Right:

Fences
Natural Resource Management
On-site Parking Lot
Recreation Paths/Trails
Small Incidental Structures
On-Site Composting/Wood Piles <5 cubic yards

2) Land Uses Permitted as Special Use:

Exterior Communication Devices
Drainage Structure
Filling
On-Site Composting/Wood Piles 5 – 10 cubic yards

(3) Land Uses Permitted as Conditional Use:

Small Scale Renewable Energy Systems

e. **Land Uses Permitted as Temporary Uses:**

Contractor's Project Office
Contractor's On-Site Equipment Storage
Remediation Structure

(c) *Dimensional requirements:*

a. **Density and Intensity Requirements:**

Minimum Landscape Surface Ratio (LSR): .25
Minimum Lot Area (MLA): 20,000 square feet
Maximum Building Size (MBS): 15,000 square feet

b. **Nonresidential Bulk Requirements:**

A: Minimum Lot Area: 20,000 square feet
B: Minimum Lot Width: 200 feet

Minimum Setbacks:

C: Building to Front or Street Side Lot Line: 50 feet
D: Building to Residential Side Lot Line: 30 feet
E: Building to Residential Rear Lot Line: 30 feet
F: Building to Nonresidential Side Lot Line: 20 feet

- G:** Building to Nonresidential Rear Lot Line: 30 feet
- H:** Peripheral Setback: See 15.610(4)(b) along zoning district boundary
- I:** Minimum Paved Surface Setback: 20 feet
- J:** Minimum Building Separation: 30 feet
- K:** Maximum Building Height: 35 feet
- L:** Minimum Number of Off-Street Parking Spaces Required on the Lot: See parking lot requirements per specific land use in Section 15.206

c. **Landscaping Requirements:**

- 1) 20 landscaping points per 100 linear feet of building foundation
- 2) 10 landscaping points per 1,000 square feet of gross floor area
- 3) 20 landscaping points per 100 linear feet of street frontage
- 4) 40 landscaping points per 10,000 square feet paved area/20stalls

d. **Nonresidential Performance Standards:** (See Subchapter 15-7)

e. **Nonresidential Signage Regulations:** (See Subchapter 15-8)

Table I. DIMENSIONAL REQUIREMENTS FOR USES IN ALL BASE ZONING DISTRICTS

DISTRICT	DENSITY AND INTENSITY							SETBACKS AND BULK REQUIREMENTS								
	Minimum Landscape Surface Ratio	Building Coverage Ratio	Maximum Gross Density (dwelling units/acre)	Minimum Lot Area (s.f. or acreage)	Minimum Site Area (s.f. or acreage)	Maximum Building Size (s.f. or percent)	Minimum Lot Width (feet)	Building to Front or Street Side Lot Line	Building to Residential Side Lot Line	Building to Residential Rear Lot Line	Building to Non-Residential Side Lot Line	Building to Non-Residential Rear Lot Line	Minimum Paved Surface Setback	Minimum Building Separation	Maximum Building Height	Maximum Accessory Structure Height
CR-Commercial Rural	0.15	N/A	N/A	3000	N/A	5000	50	25	25	20	15	15	10	30	25	N/A
CS-Commercial Suburban	0.25	N/A	N/A	0.5	N/A	15000	100	50	50	50	20	30	20	40	50	N/A
CU-Commercial Urban - Residential	N/A	0.5	8	1	1	50	200	30	30	25	10	15	10	20	35	N/A
CU-Commercial Urban - Non-Residential	0.25	N/A	N/A	1	N/A	N/A	200	50	30	50	20	30	25	20	50	N/A
OFF-Office	0.25	N/A	N/A	0.5	N/A	15000	100	40	30	30	15	20	15	25	30	N/A
AG-Agricultural	0.5	N/A	N/A	1	N/A	10000	200	50	30	50	30	50	25	25	30	N/A
IL-Industrial-Light	0.25	N/A	N/A	1	N/A	N/A	100	30	25	25	15	25	10	20	50	N/A
IH-Industrial-Heavy	0.25	N/A	N/A	1	N/A	N/A	200	50	30	30	20	30	20	30	50	N/A
RR-Residential Rural	N/A	0.25	1	1	1	25	200	50	25	50	25	25	15	50	35	15
RS-Residential Suburban-Single Family	N/A	0.5	8	6000	6000	N/A	100	25	15	20	10	10	5	10	35	15
RS-Residential Suburban-Cluster Single Family	N/A	0.5	8	4500	20000	N/A	100	25	15	20	10	10	5	10	35	15
RS-Residential Suburban-Duplex	N/A	0.5	8	6000	6000	N/A	100	25	15	20	10	10	5	10	35	15
RS-Residential Suburban-Mobile Home Park	N/A	0.5	8	4500	5	N/A	100	25	15	20	10	10	5	10	35	15
RU-Residential Urban-Single Family	N/A	0.5	12	6000	6000	N/A	100	20	15	20	10	10	5	20	35	15
RU-Residential Urban-Cluster Single Family	N/A	0.5	12	4500	20000	N/A	100	20	15	20	10	10	5	20	35	15
RU-Residential Urban-Duplex	N/A	0.5	12	6000	6000	N/A	100	20	15	20	10	10	5	20	35	15
RU-Residential Urban-Multi-Family Apartment	N/A	0.5	12	2500	1	N/A	100	20	15	20	10	10	5	20	35	15
RU-Residential Urban-Multi-Family Mixed Use	N/A	0.5	12	2500	2	N/A	100	20	15	20	10	10	5	20	35	15
RU-Residential Urban-Non-Residential	0.25	N/A	N/A	2500		*	100	20	50	25	25	25	5	50	35	N/A
MIN-Mining	N/A	N/A	N/A	320	N/A	N/A	N/A	1000	1000	1000	1000	1000	N/A	30	35	N/A
PU-Public Uses	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	50	N/A
OS-Open Space	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	25	N/A
CRF-Community Recreation Facilities	0.25	N/A	N/A	20000	N/A	15000	200	50	30	30	20	30	20	30	35	N/A

